

Rachel Terrell, Chairman
Richard Edwards, Vice Chairman
Gayle Griffith, Secretary
Carlton Gerrell, Planning Commissioner
Vickey Roberts, Planning Commissioner
Charles West, Planning Commissioner
Lynda Searcy, Planning Commissioner



Kim Foster, City Manager
Fred McLean, City Attorney
Jennifer Morris, Community Development
Mike Brown, Building Inspector
M.J. Stancook, Recording Secretary

**CITY OF PARIS, TENNESSEE
PARIS MUNICIPAL REGIONAL PLANNING COMMISSION**

**City Hall Courtroom
June 11, 2020
6:00 p.m.**

REGULAR MEETING

- I. Call to Order:** Rachel Terrell, Chairman
- II. Roll Call:** M.J. Stancook, Recording Secretary
- III. Pledge of Allegiance and Prayer**
- IV. Approval of the Minutes of Previous Meeting:** Regular Meeting: 05-14-20
- IV. OLD BUSINESS**

None
- V. NEW BUSINESS**
 1. Minor Site Plan: Tim Carter dba/Auto Trim Design, 1318 East Wood Street
 2. Rezoning Request: James Snow - Memorial Drive/Hwy 69A
 3. Zoning Discussion: North Market Street/Hwy 641 North
- VII. Adjournment**



PARIS MUNICIPAL REGIONAL PLANNING COMMISSION MEETING MINUTES
CITY OF PARIS, TENNESSEE
May 14, 2020
6:00 PM

The Paris Municipal Regional Planning Commission met in regular session at 6:00 p.m. Thursday, February 13, 2020 in the courtroom of City Hall to consider the following business:

Present: Chairman Rachel Terrell
Vice Chairman Richard Edwards
Commissioner Carlton Gerrell
Commissioner Vickey Roberts
Commissioner Gayle Griffith
Commissioner Charlie West

Also Present: Kim Foster, City Manager
M.J. Stancook, Administrative Assistant
Jennifer Morris, Community Development Director

Media: No media present

APPROVAL OF MINUTES: Regular Meeting Minutes – February 13, 2020

DISCUSSION: None

ACTION: Motion made by Commissioner West, seconded by Vice Chairman Edwards to approve the minutes as presented.

VOTE: Unanimous

NEW BUSINESS AGENDA ITEM NO. 1: Minor Site Plan: Thomas Edwards dba/ Twice the Ice, 1213A West Wood Street

DISCUSSION: Mr. Thomas Edwards submitted a site plan to request for variance of the front yard setbacks for a temporary structure at 1213A West Wood Street and ultimately for site plan approval.

The structure is considered temporary since it will not require a concrete pad or foundation. This location is in line with the Commercial Bank ATM machine for which a variance was granted in November, 2019. The rear of the structure will be placed on the existing front setback line. The structure is 8-1/2 x 24 ft.

ACTION: Motion made by Vice Chairman Edwards, seconded by Commissioner Gerrell to approve the site plan

VOTE: Unanimous

NEW BUSINESS AGENDA ITEM NO. 2: Site Plan Revision: Phillip Brown Building at Volunteer Drive and Maurice Fields Drive.

DISCUSSION: L.I. Smith Engineering presented a revised site plan on behalf of Phillip Brown for his office building under construction at the corner of Volunteer Drive and Maurice Fields Drive. Community

Development Director Jennifer Morris stated originally the drainage feature shown on the site plan called for rip rap. Mr. Brown has requested a revision to install an underground drainage pipe.

ACTION: Motion mad by Commissioner Gerrell, seconded by Commissioner West to approve the site plan revision contingent on SSR approval.

VOTE: Unanimous

Upon a motion by Commissioner Gerrell, seconded by Commissioner West, the meeting was duly adjourned at 6:06 p.m.

Secretary

**Paris Municipal Regional Planning Commission
Regular Meeting
June 11, 2020**

New Business Agenda Item No. 1: Minor Site Plan: Auto Trim Design, 1318 East Wood St.

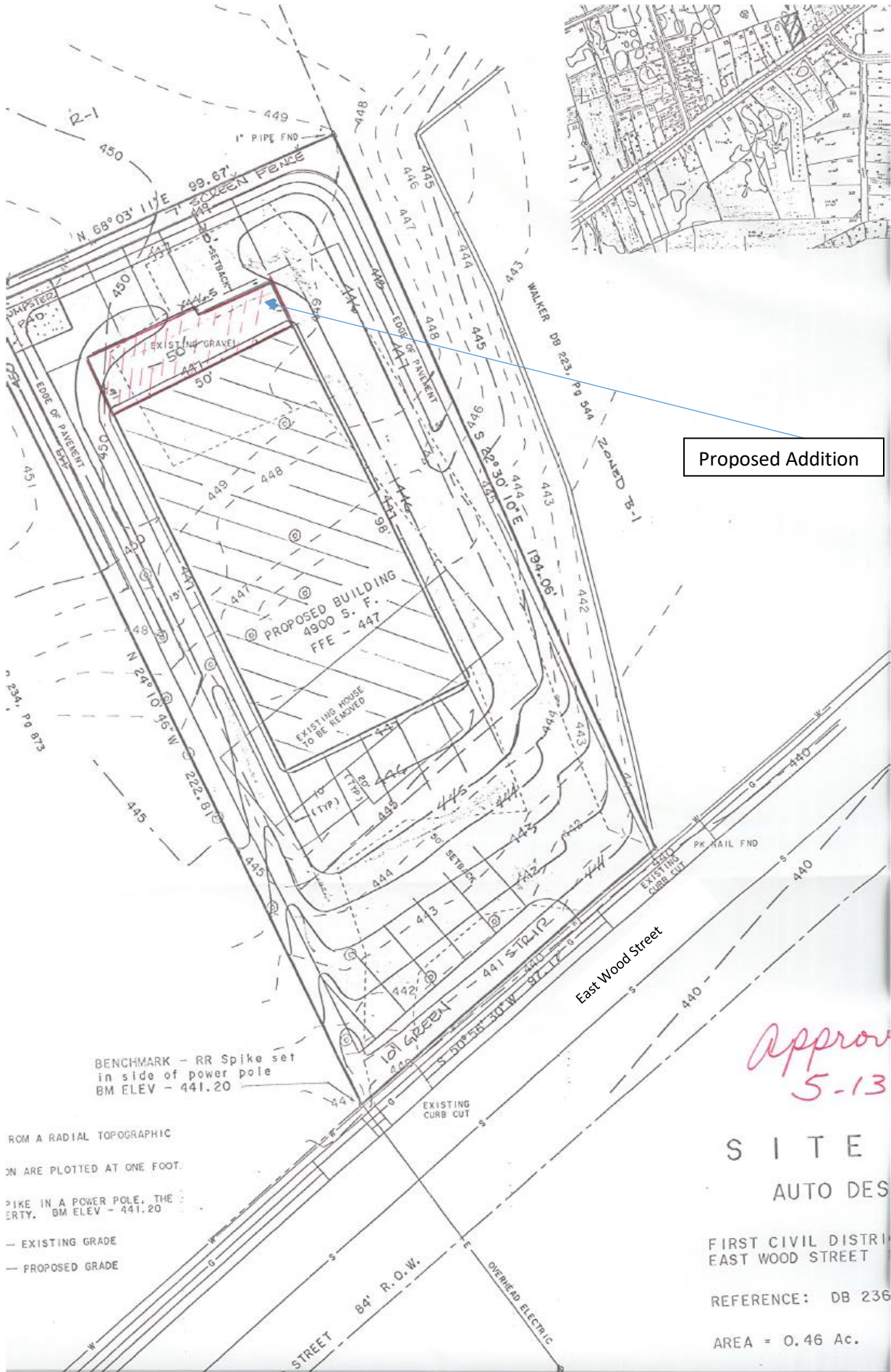
Background and Analysis:

Mr. Tim Carter has presented this minor site plan to the Planning Commission for their approval. He is proposing a 16' x 50' addition to the rear of the building. This addition will be constructed on an existing concrete slab. The northeast corner of the building does not allow for a 16 ft. addition due to setbacks, therefore, the back wall of the addition will be 14 ft. and expand to a 16 ft. width at 20 ft. With this adjustment the addition will be constructed within the required setbacks. Staff would note that the current rear setback required in the Zoning Ordinance is 30 ft. This plan was approved based on a 25 ft. setback. This is a minor site plan with no major changes to the development and according to the City Attorney this addition can be calculated based on the original site plan (25 ft. setback).

Due to the fact that this will be constructed on an existing slab it will not change the drainage. With regard to parking, according to the Zoning Ordinance, unless he is adding square footage to the "usable floor area" increased parking is not required. (Usable Floor Area – For the purposes of computing parking, usable floor area shall be that area used or intended to be used for the sale of merchandise of services, or for use to serve patrons, clients, or customers). Originally the plan calls for 15 parking spaces, however, based on the usable floor area the spaces should be calculated on 2,000 sq. ft. which would require 9 parking spaces. His parking area in the front of the building is adequate.

Recommendation:

Staff would recommend approval of the minor site plan.



Proposed Addition

Approved
5-13

S I T E
A U T O D E S I G N

FIRST CIVIL DISTRICT
EAST WOOD STREET

REFERENCE: DB 236

AREA = 0.46 Ac.

Auto Trim Design1318 East Wood Street

FROM A RADIAL TOPOGRAPHIC
POINTS ARE PLOTTED AT ONE FOOT.
PIKE IN A POWER POLE, THE
PROPERTY. BM ELEV - 441.20
- EXISTING GRADE
- PROPOSED GRADE

BENCHMARK - RR Spike set
in side of power pole
BM ELEV - 441.20

STREET 84' R.O.W.
OVERHEAD ELECTRIC

**Paris Municipal Regional Planning Commission
Regular Meeting
June 11, 2020**

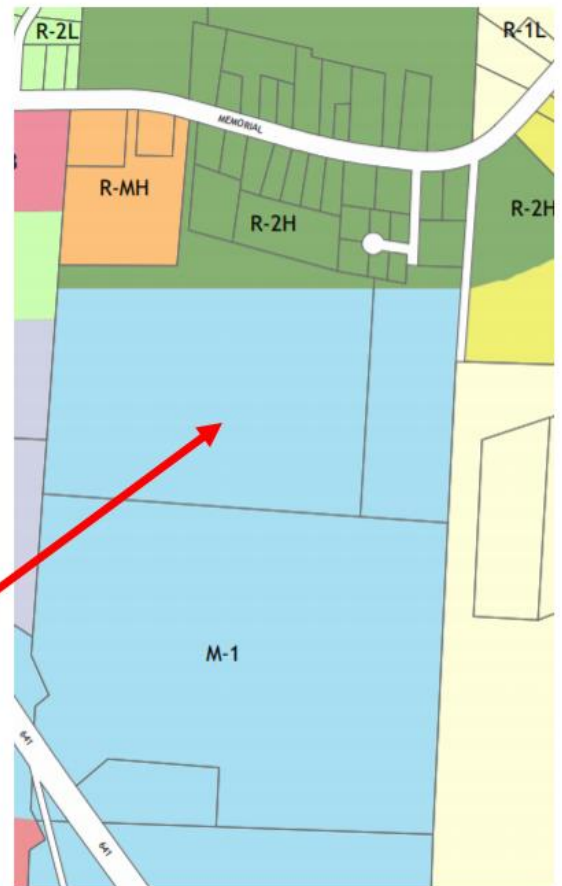
New Business Agenda Item No. 2: Rezoning Request for James Snow – Memorial Dr./Hwy 69A

Background and Analysis:

Mr. James Snow is requesting his property located on Memorial Drive (Hwy. 69A) be rezoned from M-1 (Light Industrial) to R-2H (Residential High Density). This property only has access to Memorial Drive/Hwy 69A. However, it is zoned (M-1) in accordance with the adjacent property that is accessed from Highway 641S.

It should again be noted that this property only has access to Memorial Drive. The adjacent property is accessed on Hwy 641 adjacent to the property that is the location of the local UPS center.

Mr. Snow has purchased the entire 35.5 acre tract and is in the process of dividing the property into 4 tracts, all greater than 5 acres. He wishes to utilize these tracts as a residential/agricultural use.



Area Requested to be
Rezoned from M-1 to R-2

**Paris Municipal Regional Planning Commission
Regular Meeting
June 11, 2020**

New Business Agenda Item No. 3: Zoning Discussion: North Market Street/Hwy 641 North

Background and Analysis:

With the widening of North Market Street/Hwy 641 North by the State of Tennessee, we have placed this item on the agenda for your consideration. Most times when a new highway is constructed or major upgrades are made to a highway, the Planning Commission will study the existing zoning to determine whether they feel changes should be made.

Attached is a zoning map with certain business/landmarks to assist you in navigating the parcels. As you can see by the map the properties range from R-3 to Industrial. If and when we study this further we will break down each zoning classification along the thoroughfare and include the things that would be permitted or prohibited in each classification. Today we are only bringing this to the board for initial discussion and a decision on whether or not to move forward.

