



**PARIS MUNICIPAL REGIONAL PLANNING COMMISSION MEETING MINUTES
CITY OF PARIS, TENNESSEE
February 10, 2022
5:30 PM**

The Paris Municipal Regional Planning Commission met in regular session at 5:30 p.m. Thursday, February 10, 2022, in the courtroom of City Hall to consider the following business:

Present: Chairman Rachel Terrell
Vice Chairman Richard Edwards
Commissioner Tara Wilson
Commissioner Gayle Griffith
Commissioner John Etheridge
Commissioner Lynda Searcy

Also Present: Kim Foster, City Manager
City Attorney, Fred McLean
Jessica Crouch, Administrative Assistant
Jennifer Morris, Community Development Director
Lowell Schrader, Building Inspector

Absent: Commissioner Vickey Roberts

Media: Shannon McFarlin, WENK/WTPR
Ken Walker, Post Intelligencer

Chairman Rachel Terrell led the meeting with the Pledge of Allegiance followed by a prayer led by Vice Chairman Richard Edwards

APPROVAL OF MINUTES: Regular Meeting Minutes – December 9, 2021

DISCUSSION: None

ACTION: Motion made by Vice Chairman Richard Edwards, seconded by Commissioner Tara Wilson to approve the minutes as presented.

VOTE: Unanimous

OLD BUSINESS:

- 1.) **Minor Site Plan:** Randy Crowder, 1008 East Wood Street

NEW BUSINESS:

- 1.) **Request to Acquire City Right-of-Way:** McWherter, Alley on Whitehall Circle
- 2.) **Request to Acquire City Right-of-Way:** Jamie Orr, Dead End on Jean Street

OLD BUSINESS

AGENDA ITEM NO. 1: Minor Site Plan - Randy Crowder - 1008 East Wood Street

DISCUSSION: Community Development Director, Jennifer Morris, explained that this minor site plan was approved with contingencies at the November 2021 Planning Commission. On that approved plan, an access to East Wood Street showed a right-in/right-out. Since that time, TDOT has reviewed that request and is not in favor of an entrance/exit from Wood St. A new exit onto Currier St., just north of the entrance, was added to the site plan. Ms. Morris spoke with Mr. Crowder regarding ingress / egress and made it clear that the driveway access between the two houses on Currier Street could under no circumstances be used as public access to the development. Mr. Crowder has spoken to TDOT and staff and submitted a revised plan for the development.

Ms. Morris stated that staff recommended the following stipulations with the minor site plan:

- Signage as you exit the property stating that traffic must exit to the left to access East Wood Street which would discourage any traffic using Currier past this point.
- Notations on the site plan as to how the existing driveways on Wood St. would be blocked. The plan should assure that the current or any future property owners would no longer be allowed to use these access driveways.
- The notation for right in and right out on East Wood should be removed from the site plan.
- A notation regarding screening between the residential Yarbrow property and the development must be addressed.

Chairman, Rachel Terrell, brought up a past conversation regarding light pollution on Currier Street with the new right in and right out of the property. Mr. Joe Fain, in the place of Randy Crowder, stated that when customer exits the property the lights would not be facing an individual's house, instead it would be facing Morton Street.

There was talk between the Commissioners, City Attorney, and Mr. Fain regarding how the existing driveway on Wood St. would be blocked. City Attorney, Fred McLean and Commissioner John Etheridge agreed to eliminate the driveway all together, and remove the curb cut. Mr. Fain stated that he was considering contacting a brick mason to continue the existing brick wall. Kim Foster, City Manager, stated that the deciding factor should be left up to the property owner in order to block the driveway so no individual can enter or exit off of East Wood Street.

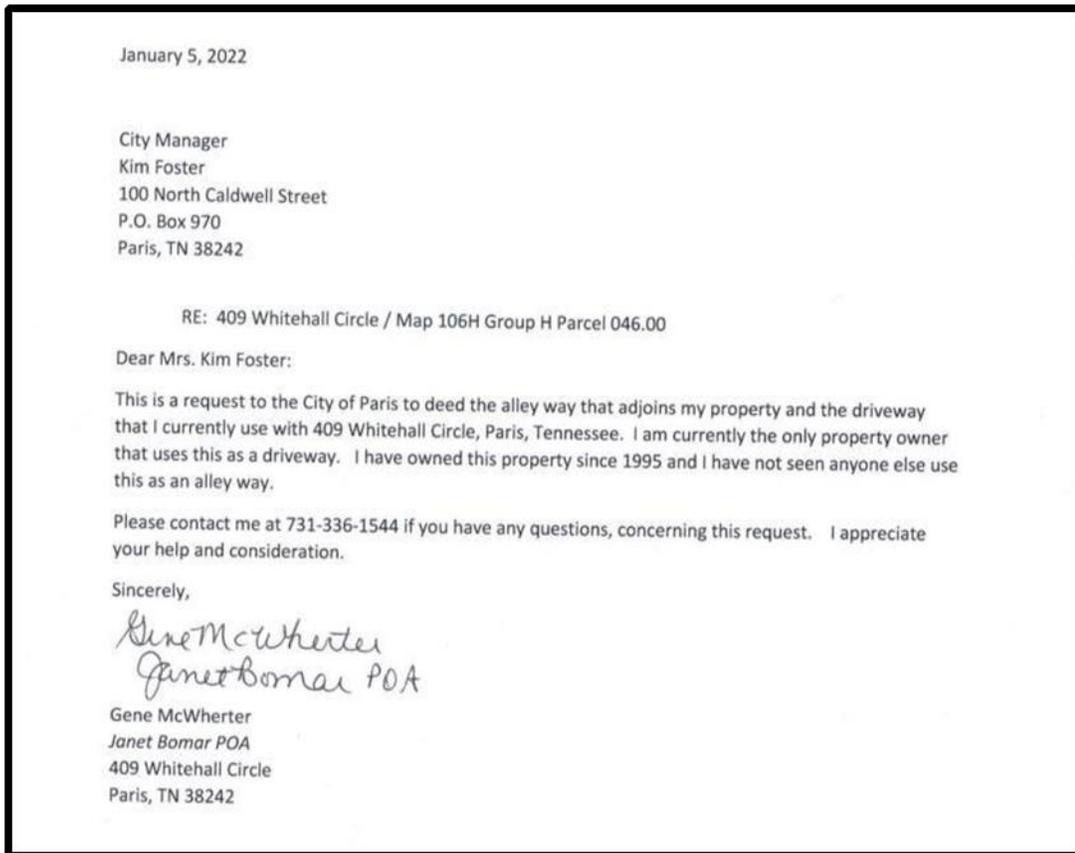
ACTION: Motion made by Commissioner John Etheridge, seconded by Commissioner Tara Wilson to approve the presented Minor Site Plan from Randy Crowder for 1008 East Wood

driveway in upcoming years as well as the consider the General Liability if the neighborhood continued to utilize the alley.

City Manager, Kim Foster, stated that she did not see a reason for the Keenan Amendments or easements since there is no underground utilities. Ms. Foster makes a point to say that the City Right-of-Way will be offered to all adjoining owners. If no adjoining owner wants the property, then the entire alley will be offered to Mr. McWherter.

ACTION: Motion made by Commissioner John Etheridge, seconded by Vice Chairman Richard Edwards to recommend the City Commission approve the request from Mr. McWherter to acquire City Right-of-Way Alley on Whitehall Circle without the Keenan Amendments or easements contingent upon adjoining property owners not wanting their portion.

VOTE: Unanimous







NEW BUSINESS

AGENDA ITEM NO. 2: Request to Acquire City Right-of-Way - Jamie Orr - Dead End on Jean Street

DISCUSSION: The City Commission referred a request to acquire City Right-of-Way at the dead end of Jean Street by Jamie Orr. Mr. Orr has purchased adjoining property as well as the current Wingin It property. Mr. Orr has requested the triangle area, noted in illustrations below, to configure the development much better regarding setbacks for his future property. An alley runs behind the Wingin It property. There was question if City of Pairs Sanitation would have problems turning onto Jean St. from the alley if City approved the request of Mr. Orr. Paris Public works director Phillip Jesse had a sanitation truck exit the alley onto Jean St. and no issues were observed.

Commissioner John Etheridge stated that if there is a service on the property for longer than twenty years (20) then an easement would not be needed. Ms. Foster stated that the City will verify if the sewer main is located there. If not, then no easements will be needed. Ms. Morris stated that this will show when the final site plan is submitted.

ACTION: Motion made by Commissioner Gayle Griffith, seconded by Vice Chairman Richard Edwards to recommend the City Commission approve the request of Jamie Orr to acquire City Right-of-way at the Dead End on Jean Street without the Keenan Amendments and with Easements depending upon the sewer main.

VOTE: Unanimous

January 25, 2022

To the City of Paris Board of Commissioners:

I have acquired the property adjacent to East Wood Clinic and previously submitted a site plan to the Planning Commission for development of this tract. Since that time, I am now in the process of acquiring the property to the east that fronts on Fairgrounds Road (current location of Wing N It).

Some time ago the City quitclaimed the abandoned portion of Jean Street between these two properties to the adjoining property owners. My request to you is the opportunity to acquire a somewhat triangular shaped property (1,000 sq. ft.) at the end of the abandoned Jean Street and at the entrance to the alley that runs from Jean Street east and along the rear of the properties that front Jean Street south to Jane Street.

In meeting with the City Manager and staff it was determined that the City's sanitation truck can in fact still access this alley without this small triangular parcel.

My reason for this request is that I have plans for additional retail (restaurant) development. With the shape of these properties, it is difficult to meet all setbacks and still have adequate room for buildings and parking. In acquiring this small tract, it would add almost 40 ft. of depth to the development, allowing for a much more desirable layout for the entire development from Eastwood Clinic to the intersection and down Fairgrounds Road.

I very much appreciate your consideration of my request.

Sincerely,

Jamie Orr

Upon a motion by Commission Gayle Griffith, seconded by Commissioner Tara Wilson, the meeting was duly adjourned at 6:10 p.m.

Secretary