

Rachel Terrell, Chairman
Richard Edwards, Vice Chairman
Gayle Griffith, Secretary
John Etheridge, Planning Commissioner
Vickey Roberts, Planning Commissioner
Lynda Searcy, Planning Commissioner
Tara Wilson, Planning Commissioner



Kim Foster, City Manager
Fred McLean, City Attorney
Jennifer Morris, Community Development
Lowell Schrader, Building Inspector
Jessica Crouch, Recording Secretary

**CITY OF PARIS, TENNESSEE
PARIS MUNICIPAL REGIONAL PLANNING COMMISSION**

**City Hall Courtroom
August 12, 2021
6:00 p.m.**

REGULAR MEETING

- I. Call to Order:** Rachel Terrell, Chairman
- II. Roll Call:** Jessica Crouch, Recording Secretary
- III. Pledge of Allegiance and Prayer**
- IV. Approval of the Minutes of Previous Meeting:** Regular Meeting on 07-08-21
- IV. OLD BUSINESS**

None
- V. NEW BUSINESS**
 - 1. Minor Site Plan -** 54 Fuel Mart, 1213A West Wood Street
- VI. Adjournment**



**PARIS MUNICIPAL REGIONAL PLANNING COMMISSION MEETING MINUTES
CITY OF PARIS, TENNESSEE
July 8, 2021
6:00 PM**

PUBLIC HEARING

1.) Amendment to Subdivision Regulations to Require As Built Drawings for Completed Subdivisions

Discussion: No comments from citizens. The public hearing was duly closed.

The Paris Municipal Regional Planning Commission met in regular session at 6:00 p.m. Thursday, July 8, 2021 in the courtroom of City Hall to consider the following business:

Present: Chairman Rachel Terrell
Vice Chairman Richard Edwards
Commissioner Gayle Griffith
Commissioner Vickey Roberts
Commissioner John Etheridge
Commissioner Tara Wilson

Also Present: Kim Foster, City Manager
City Attorney, Fred McLean
Jennifer Morris, Community Development Director
Jessica Crouch, Administrative Assistant

Absent: Commissioner Lynda Searcy
Lowell Schrader, Building Inspector

Media: Ken Walker, Paris PI

Chairman Rachel Terrell led the meeting with the Pledge of Allegiance followed by a prayer led by Vice Chairman Richard Edwards.

APPROVAL OF MINUTES: Regular Meeting Minutes – June 10, 2021

DISCUSSION: None

ACTION: Motion made by Commissioner John Etheridge, seconded by Commissioner Tara Wilson to approve the minutes as presented.

VOTE: Unanimous

OLD BUSINESS:

- 1.) **Amendment to Subdivision Regulations and Zoning Ordinance: Requirement for As Built Inspections**

NEW BUSINESS:

- 1.) **Site Plan – T & C Taxes, 102 Fairview Street**

OLD BUSINESS AGENDA ITEM NO. 1: Amendment to Subdivision Regulations and Zoning Ordinance: Requirement for As Built Inspections

DISCUSSION: The Planning Commission at the June meeting voted to move forward with amendments to the Subdivision Regulations to add a requirement to the subdivision process to require the developer to provide an as-built approval from the designing engineer that would certify any drainage, grading or drainage features. Any costs related to this process would be the responsibility of the developer.

Jennifer Morris, Community Development Director presented to the Planning Commission to add Section F to Article 5 of the Subdivision Regulations:

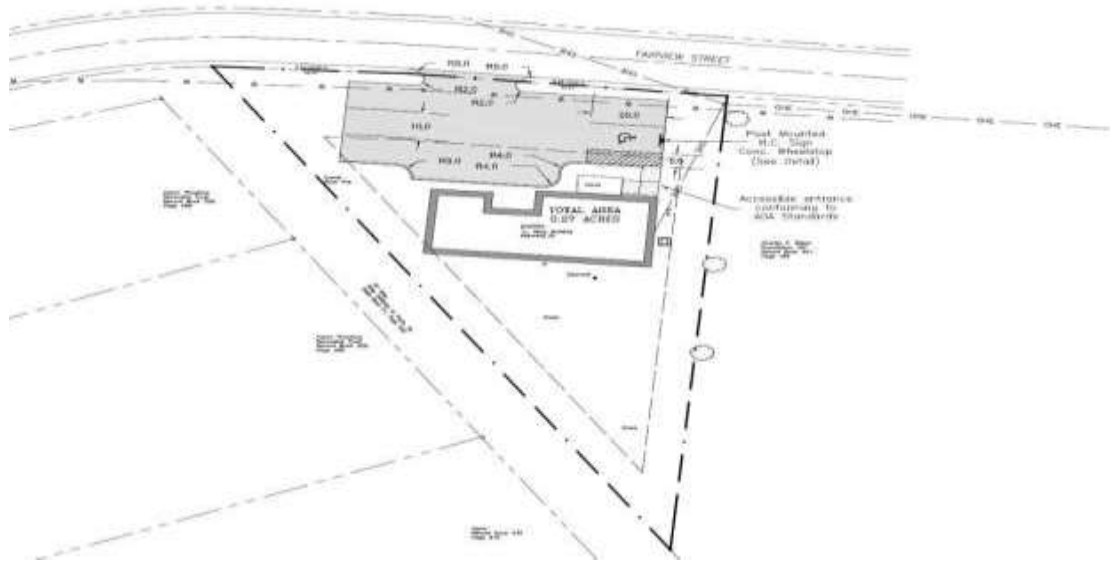
Section F. Final Plat Approval "After construction is complete, all improvements have been made, installed, and approved by the designing engineer, an As Built Subdivision Plat with regard to drainage and grading must be presented to the City Manager or the City Manager's Designee for review prior to Final Plat Approval by the Paris Municipal Regional Planning Commission."

ACTION: Motion made by Commissioner Vickey Roberts, seconded by Vice Chairman Richard Edwards to add Section F. Final Plat Approval to Article 5 of the Subdivision Regulations.

VOTE: Unanimous

NEW BUSINESS AGENDA ITEM NO. 1: Site Plan – T & C Taxes, 102 Fairview Street

DISCUSSION: T & C Taxes located at 102 Fairview Street requested and received a rezoning for their property some time ago. In opening their office at this location they made no major changes to the property. However, prior to any paving or further development of the property they are required to submit a site plan. Staff has received a site plan for this location. Because there is disturbance of less than an acre it did not require review by an engineer. The Building Inspector has looked at this plat and determined that the drainage as presented is adequate.



ACTION: Motion made by Commissioner Vickey Roberts, seconded by Commissioner John Etheridge to approve the Site Plan as presented.

VOTE: Unanimous

Upon a motion by Vice Chairman Richard Edwards, seconded by Commissioner Tara Wilson, the meeting was duly adjourned at 6:07 p.m.

Secretary

**Paris Municipal Regional Planning Commission
Regular Meeting
August 12, 2021**

Old Business Agenda Item No. 1:

Minor Site Plan for 54 Fuel Mart at 1213A West Wood Street

Background and Analysis:

This is the former location of the Henry Farmers COOP fuel and retail center. The property was previously divided into multiple tracts. This tract as shown on the site plan is the current location of 54 Fuel Mart. There are fuel pumps in the vicinity of the existing building which consist of a convenience store in the front with storage in the rear of the building.

The diesel fuel pumps and canopy are in the process of being replaced by new pumps and canopy. They have been shifted to be positioned vertically to the street rather than perpendicular as they have been in the past.

This minor site plan is presented to the Planning Commission due to the fact that the traffic pattern of the site will be altered. As you can see by the site plan, tractor truck traffic will enter the property to the west of the convenience store and travel around the rear of the store where they will pump fuel and exit from the property where the canopy and pumps have always been located.

This travel pattern could actually improve traffic when entering and exiting the property. Rather than these vehicles maneuvering around the pumps to enter and exit in the same location it should actually make it safer for the truck traffic entering and exiting onto the highway.

Recommendation:

Staff would recommend approval of the minor site plan as presented.



THE VICINITY MAP IS NOT TO SCALE

THIS INSTRUMENT IS SUBJECT TO MAP AND ALL INSTRUMENTS, COVENANTS, EASEMENTS AND RECORDS ON FILE WITH THE REGISTER OF DEEDS IN THE PUBLIC RECORDS OF THE COUNTY OF DEKALB. THE INSTRUMENTS, COVENANTS, EASEMENTS AND RECORDS ON FILE WITH THE REGISTER OF DEEDS IN THE PUBLIC RECORDS OF THE COUNTY OF DEKALB SHALL BE CONSIDERED PART OF THIS INSTRUMENT. ALL INSTRUMENTS ARE APPROVED BY THE REGISTER OF DEEDS AND SHALL BE RECORDED WITHIN THE PUBLIC RECORDS OF THE COUNTY OF DEKALB.

COURTNEY CONWELL, L.L.P.
 PROJECT MANAGER
 2000 GARDEN CITY PARKWAY, SUITE 200
 ATLANTA, GA 30328

NOTICE: THE CLARIFICATION OF THIS INSTRUMENT IS THE PROPERTY OF COURTNEY CONWELL, L.L.P. ANY AMENDMENTS TO THIS INSTRUMENT SHALL BE MADE BY THE PARTIES TO THIS INSTRUMENT AND SHALL BE RECORDED WITHIN THE PUBLIC RECORDS OF THE COUNTY OF DEKALB.

OWNER OF THIS PROJECT:
 CHRYSLER FINANCIAL GROUP, INC.
 100 NORTH WASHINGTON STREET, SUITE 2000
 ATLANTA, GA 30303

TRACT 1 AREA - 2.15 ACRES
 THIS INSTRUMENT IS A PART OF A PLAT OF LAND AND SHALL BE RECORDED WITHIN THE PUBLIC RECORDS OF THE COUNTY OF DEKALB.

REGISTRAR OF DEEDS, CLERK OF SUPERIOR COURT
 I, _____, Registrar of Deeds, Clerk of Superior Court, do hereby certify that the within instrument is the original and true copy of the instrument recorded and that the same has been duly recorded in the public records of the County of DeKalb, Georgia.

COURTNEY CONWELL, L.L.P.
 PROJECT MANAGER

DATE: _____

DATE: _____

REVISIONS

NO.	DATE	BY	DESCRIPTION

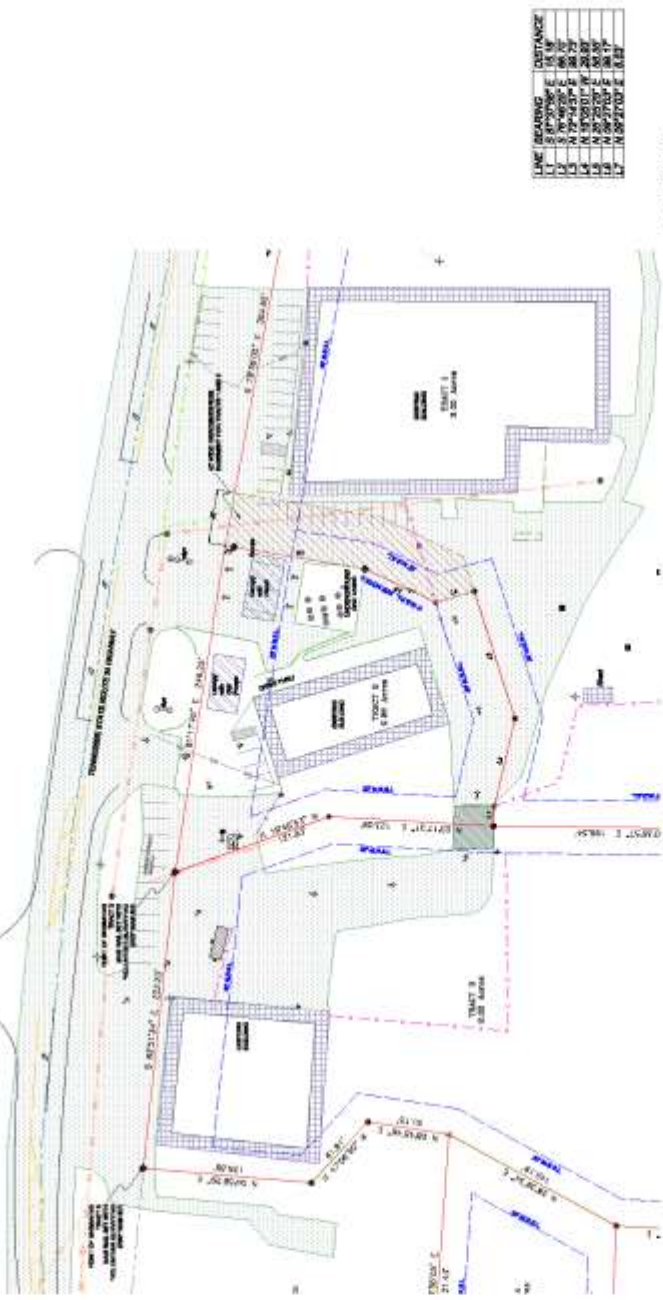


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54 FUEL MART MINOR SITE PLAN PARIS, TENNESSEE 1213 WEST WOOD ST

August 5, 2021
 SCALE: 1" = 40'
 HYSB21055454
 SHEET NO. 54 PL 1
 SHEET NO. 1 OF 1



LINE BEARING	DISTANCE
1-1	S 61° 27' 06" E 1.11' M
2-1	S 71° 00' 00" E 1.88' M
3-1	N 70° 30' 00" W 1.98' M
4-1	N 13° 20' 00" E 28.52' M
5-1	N 32° 30' 00" E 1.00' M
6-1	N 22° 20' 00" E 1.00' M
7-1	N 85° 20' 00" E 1.00' M

LEGEND

Map of Tennessee

City
 County
 District
 Road
 Water
 Rail
 Airway
 Airport
 Suburb
 Major Road
 Minor Road
 Waterway

Legend

- City
- County
- District
- Road
- Water
- Rail
- Airway
- Airport
- Suburb
- Major Road
- Minor Road
- Waterway

Map of the Project

- Proposed Building
- Existing Building
- Proposed Parking
- Existing Parking
- Proposed Road
- Existing Road
- Proposed Waterway
- Existing Waterway
- Proposed Rail
- Existing Rail
- Proposed Airway
- Existing Airway
- Proposed Airport
- Existing Airport
- Proposed Suburb
- Existing Suburb
- Proposed Major Road
- Existing Major Road
- Proposed Minor Road
- Existing Minor Road
- Proposed Waterway
- Existing Waterway